

OCEAN PARK VILLAS

5113 SARATOGA AVENUE
SAN DIEGO, CA 92107



AREA SUMMARY

	EXHIBIT "A"	PROPOSED	DIFFERENCE	
FIRST FLOOR	G.F.A.	7,125 S.F.	3,437 S.F.	-3,688 S.F.
SECOND FLOOR	G.F.A.	6,981 S.F.	6,378.1 S.F.	-602.9 S.F.
THIRD FLOOR	G.F.A.	N/A	4,290.6 S.F.	+4,290.6 S.F.
TOTAL PROPOSED G.F.A. PROPOSED FAR		14,106 S.F. = .70	14,105.7 S.F. = .70	-0.3 S.F.
TOTAL PROPOSED BUILDING AREA	G.F.A.	14,106 S.F.	14,105.7 S.F.	-0.3 S.F.
	BASEMENT	16,381 S.F.*	N/A	-16,381 S.F.
	ROOF DECK	5,477 S.F.	N/A	-5,477 S.F.
	EKT. DECK	9,080 S.F.	4,678.1 S.F.	-4,401.9 S.F.
	STORAGE	4,959 S.F.	N/A	-4,959 S.F.
	GARAGES	N/A	2,823 S.F.	+2,823 S.F.
	STAIR/ELEV	N/A	2,648.6 S.F.	+2,648.6 S.F.
TOTAL	50,003 S.F.	24,255.4 S.F.	-25,747.6 S.F.	
ALLOWABLE G.F.A. FAR = .70		14,107.8 S.F.	(.70 x 20,154 S.F.)	
TOTAL LOT AREA		20,154 S.F.		

* SQUARE FOOTAGE NOT INCLUDED IN FAR PER SDMC SECTION 113.0234(a)(2)(B).



Marengo Morton Architects

7724 Girard Ave.
Second Floor
La Jolla, CA 92037
Tel. (858) 459-3769
Fax. (858) 459-3768
Michael Morton AIA
Claude Anthony Marengo DBA



All design, plans and specifications are intended to be used in accordance with the terms of the contract for the project. No part of these drawings shall be reproduced, stored in a retrieval system, or transmitted in any form or by any means, without the prior written consent of Marengo Morton Architects, Inc. Any reproduction, storage, or transmission without the prior written consent of Marengo Morton Architects, Inc. is prohibited. There shall be no changes, modifications, or deviations from these drawings or specifications without the prior written consent of Marengo Morton Architects, Inc. Marengo Morton Architects, Inc. is not responsible for any errors or omissions in these drawings or specifications. The user of these drawings and specifications shall constitute the acceptance of all these restrictions.

STORM WATER QUALITY NOTES CONSTRUCTION BMPs

This project shall comply with all requirements of the state permit: [California Regional Water Quality Control Board, San Diego Region, order NO. 2001.01 NPDES NO. CAS010875](http://www.swrcb.ca.gov/rwqcb9/programs/sd_stormwater.html) (http://www.swrcb.ca.gov/rwqcb9/programs/sd_stormwater.html)

Notes 1-6 below represent key minimum requirements for construction BMPs

- Sufficient BMPs must be installed to prevent silt, mud or other construction debris from being tracked into the adjacent street(s) or storm water conveyance systems due to construction vehicles or any other construction activity. The contractor shall be responsible for cleaning any such debris that may be in the street at the end of each work day or after a storm event that causes a breach in the installed construction BMPs.
- All stock piles of uncompact soil and/or building materials that are intended to be left unprotected for a period greater than seven calendar days are to be provided with erosion and sediment controls. Such soil must be protected each day when the probability of rain is 40% or greater.
- A concrete washout shall be provided on all projects which propose the construction of any concrete improvements that are to be poured in place on the site.
- All erosion/sediment control devices shall be maintained in working order at all times.
- All slopes that are created or disturbed by construction activity must be protected against erosion and sediment transport at all times.
- The storage of all construction materials and equipment must be protected against any potential release of pollutants into the environment.

VICINITY MAP



PROJECT TEAM

OWNER'S
1984 Abbott, L.L.C.
3655 Nobel Drive, Suite 500
San Diego, CA 92123
Telephone: (619) 328-9918
Fax: (619) 328-3954
Contact: Evelyn DeLeon

ARCHITECT
Marengo Morton Architects
7724 Girard Avenue, Second Floor
La Jolla, CA 92037
Telephone: (858) 459-3769
Fax: (858) 459-3768
Contact: Claude Anthony Marengo
cmarengo@mmar.com
Cell: (619) 417-1111

SCOPE OF WORK

DEMOLITION OF 15 RESIDENTIAL APARTMENT UNITS IN 4 DETACHED STRUCTURES AND CONSTRUCT A 3 STORY, 14,105.7 SF, 10 UNIT BUILDING WITH UNDERGROUND PARKING BELOW THE STRUCTURE. LANDSCAPE CONDITIONS ARE THE SAME, WITH TURF FOR PUBLIC USE ON THE BEACHFRONT SITE; AS ARE ALL THE OTHER SPECIAL CONDITIONS INCLUDING VIEW CORRIDORS. WE ARE PROPOSING SITE WALLS WITH 75% OPENING AROUND THE PROPERTY. THERE ARE NO PROPOSED CHANGES TO THE VACATION PORTIONS OF THE TWO ALLEYS.

SHEET INDEX

NAME	CONTENT	#
T-1	TITLE SHEET	1
A-1.1	PROPOSED SITE PLAN	2
A-1.1a	PARKING COMPARISON PLAN	3
A-1.2	PROPOSED LANDSCAPE PLAN	4
A-1.4	PROPOSED FIRST FLOOR PLAN	5
A-1.5	PROPOSED SECOND FLOOR PLAN	6
A-1.6	PROPOSED THIRD FLOOR PLAN	7
A-4.1	PROPOSED ROOF PLAN	8
A-5.1	PROPOSED EXTERIOR ELEVATIONS	9
A-5.2	PROPOSED EXTERIOR ELEVATIONS	10
A-6.1	PROPOSED SECTIONS	11
A-7.1	PROPOSED RENDERINGS	12

PROJECT DATA

OCEAN PARK VILLAS
5113 SARATOGA AVENUE
SAN DIEGO, CA 92107

05-13-11 PRELIMINARY REVIEW
05-27-11 COASTAL SUBMITTAL



PHASE COASTAL
PHASE

PROJECT NO. 2010-25

REVIEWED BY CAM

DRAWN BY JV, JK

DATE 09-29-2011

Marengo Morton Architects, Inc. is providing this information for informational purposes only and does not constitute an offer of any financial product or service. Any use of this information is subject to the terms and conditions of the applicable prospectus. The user of this information shall constitute the acceptance of all these restrictions.

TITLE SHEET

T-1
SHEET 1 OF 12

GENERAL SITE NOTES

- A. The site plan is for general site reference only. Refer to other construction documents for complete scope of work.
- B. Runoff from the roof and all impervious surfaces will be collected and directed into pervious areas on the site (landscape areas) for filtration and/or percolation prior to being conveyed off-site in a non-erosive manner.
- C. The vacated alleys shall be landscaped with turf/grass for public use; and shall first be reviewed and approved by the City of San Diego/Fire Department.
- D. All landscaping shall be drought-tolerant and native or non-invasive plant species. No plant species listed as problematic and/or invasive by the California Native Plant Society, the California Exotic Pest Plant Council or as may be identified from time to time by the State of California shall be employed or allowed to naturalize or persist on the site. No plant species listed as "noxious weed" by the state of California or the U.S. Federal Government shall be utilized within the property.
- E. All conditions or dimensions on these plans shall be verified in the field by the General Contractor with actual site conditions. Written dimensions shall take precedence over scaled dimensions and shall be verified on the job site. On-site verification of all dimensions and conditions shall be the sole responsibility of the General Contractor and Subcontractors.
- F. The Contractor or sub-contractor shall notify the Architect if any conflicts or discrepancy occurs between this information on this plan and actual field conditions. Do not proceed with work in conflict with these drawing until written or verbal instructions are issued by the Architect office.
- G. Protect and mark all existing building structure including walls, beams, columns, area separation walls, and other items that are part of the existing structure and not part of the scope of the tenant improvement, and mark perimeter of construction zone.
- H. Locate refuse bin at approved on-site location. Contractor shall dispose of all site refuse at city-approved locations.
- I. Provide building address numbers, visible and legible from street or road fronting the property.
- J. Verify the level and plumb of existing floors, walls, ceilings and other items, which will not be changed, so that any attached structure, walls, ceiling or other components can be installed level and plumb.
- K. The structure surrounding the Tenant Improvement are existing as are the exterior, windows, doors, HVAC systems, site utilities, walkways and sidewalk conditions. The Architect has not taken any research into the condition of the existing structure as to its condition, construction or suitability.



Marengo Morton Architects
 7724 Girard Ave.
 Second Floor
 La Jolla, CA 92037
 Tel. (858) 459-3769
 Fax. (858) 459-3768
 Michael Morton AIA
 Claude Anthony Marengo DESA



All design, ideas and arrangements as indicated on these drawings are the legal property of Marengo Morton Architects, Incorporated and the specific project for which they were prepared as indicated on the project title block. Reproduction, publication or use by any method, in whole or part, without the express written consent of Marengo Morton Architects, Incorporated is prohibited. There shall be no changes, substitutions, modifications or deviations from these drawings or accompanying specifications without the consent of Marengo Morton Architects, Incorporated. Visual, physical, or electronic contact or use of these drawings and attached specifications shall constitute the acceptance of all these restrictions.

OCEAN PARK VILLAS
 5113 SARATOGA AVENUE
 SAN DIEGO, CA 92107

05-13-11 PRELIMINARY REVIEW
 05-27-11 COASTAL SUBMITTAL



PHASE COASTAL PHASE

PROJECT NO. 2010-25

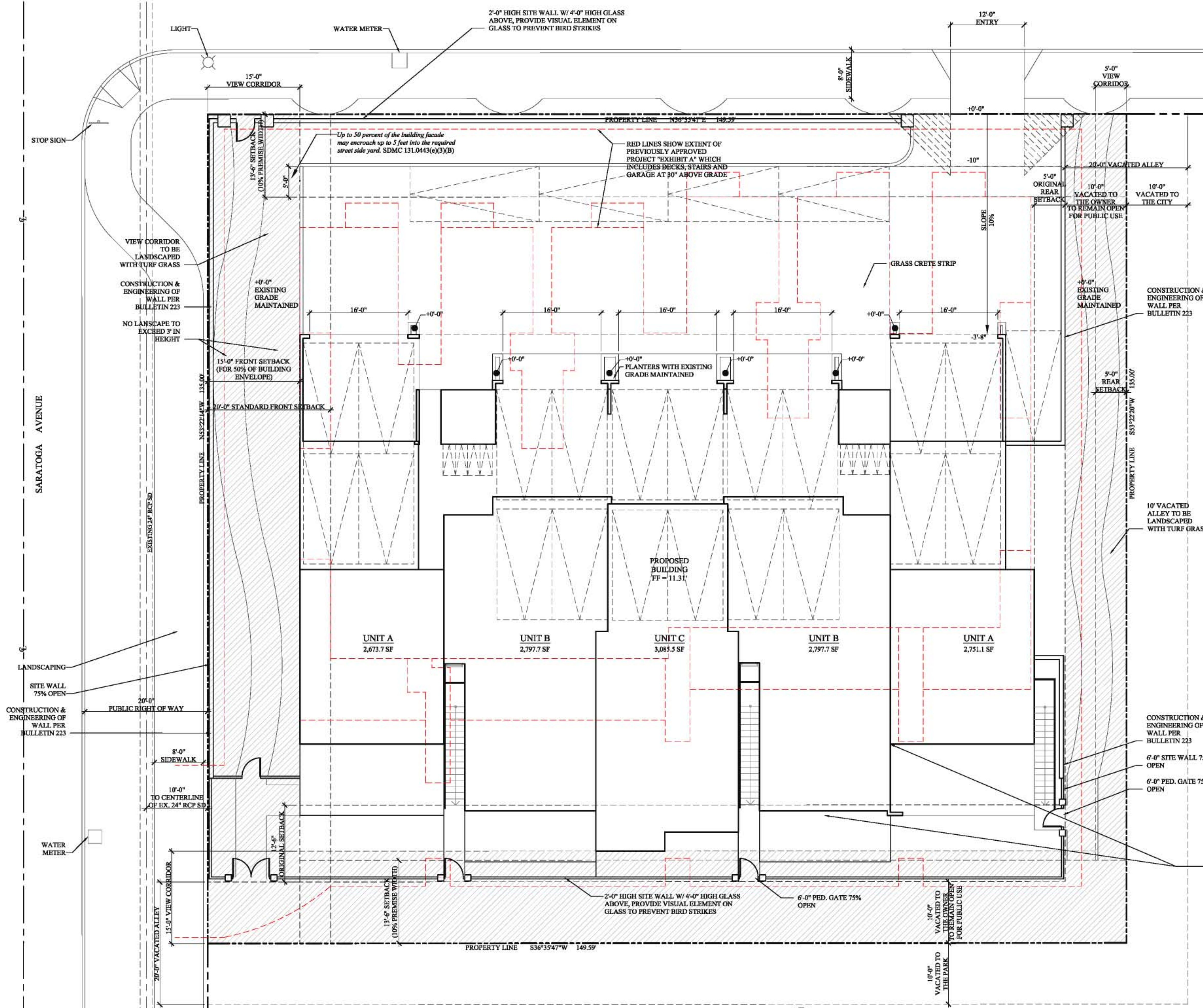
REVIEWED BY CAM

DRAWN BY JV, JK

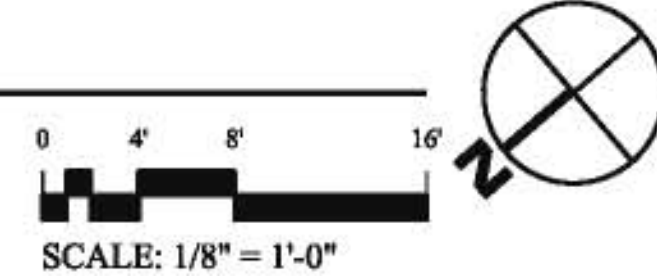
DATE 09-29-2011

Marengo Morton Architects, Inc. is providing, by agreement with certain parties, tentative stated drawings. The parties responsible for the design, preparation, and execution of these drawings are the Architect and the Client. These drawings are not to be used for construction or for any other purpose without the express written consent of Marengo Morton Architects, Incorporated. These drawings are provided for informational purposes only and do not constitute a contract. The Architect's responsibility is limited to the design and construction of the building as shown on these drawings. The Architect is not responsible for the construction of the building or for any other purpose. The Architect's liability is limited to the design and construction of the building as shown on these drawings. The Architect is not responsible for the construction of the building or for any other purpose. The Architect's liability is limited to the design and construction of the building as shown on these drawings.

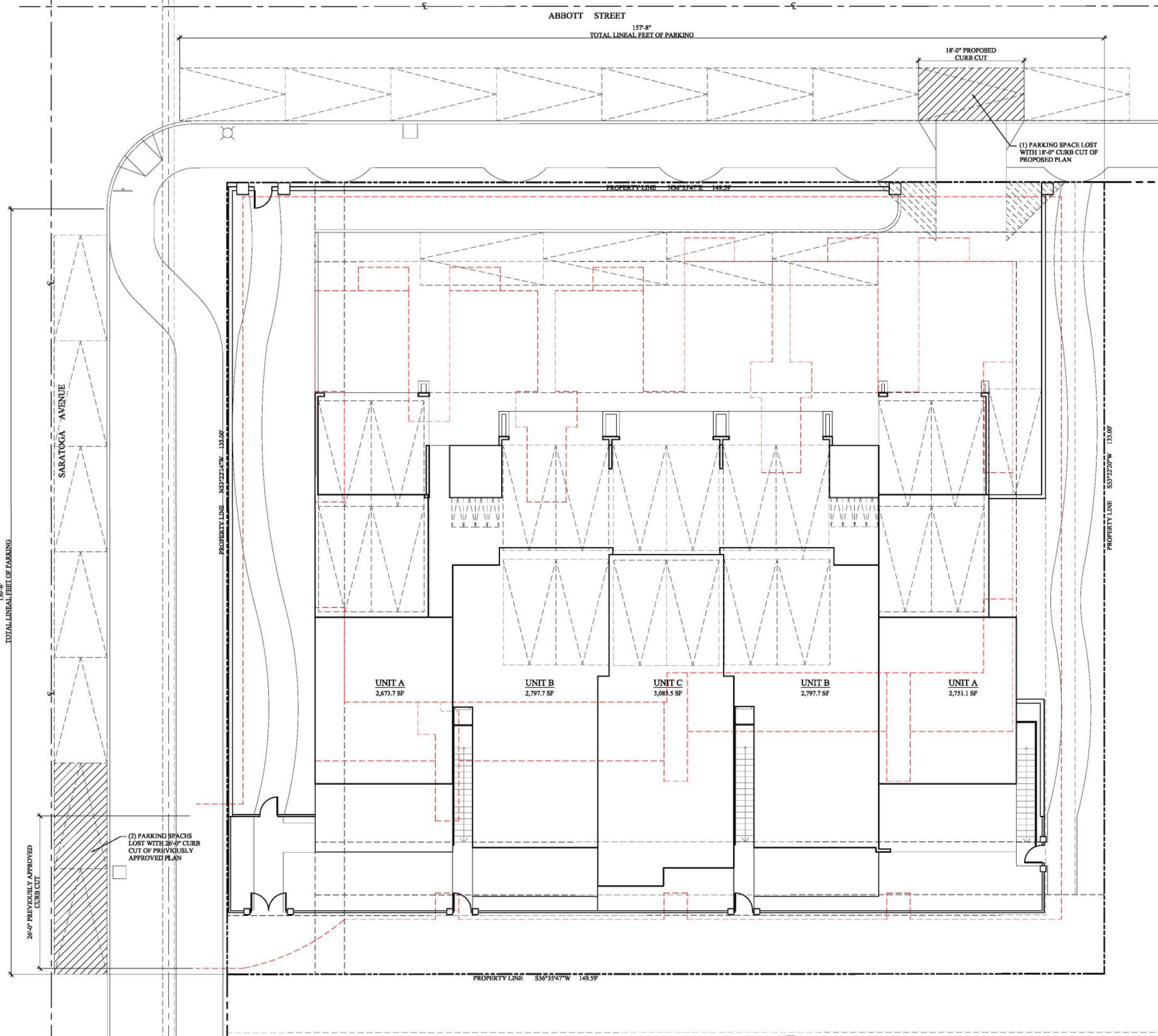
SSRBT TITLE SITE PLAN PROPOSED



1 PROPOSED SITE PLAN



Y:\2010 Projects\2010-25 Ocean Park Villas\CAD\Drawings\Architectural\Phase\Sheet\A-1.1_Site Plan.dwg Sep 29 2011 3:52pm



PARKING (LINEAL FEET)	
PREVIOUSLY APPROVED PROJECT	
ABBOTT ST.	157.67'
SARATOGA ST.	104.5' (130.5' TOTAL - 26.0' CURB CUT)
TOTAL	262.17 / 18.0' PER SPACE = 14.6 SPACES
PROPOSED PROJECT	
ABBOTT ST	139.67' (157.67' - 18.0' CURB CUT)
SARATOGA ST	130.5'
TOTAL	270.17' / 18.0' PER SPACE = 15.0 SPACES
PROPOSED > PREVIOUSLY APPROVED	

Marengo Morton Architects
 7724 Girard Ave.
 Second Floor
 La Jolla, CA 92037
 Tel. (858) 459-3769
 Fax. (858) 459-3768
 Michael Morton AIA
 Claude Anthony Marengo DRESA

All designs, ideas and arrangements as indicated on these drawings are the legal property of Marengo Morton Architects, Incorporated and the specific project for which they were prepared as indicated on the project title block. Reproduction, publication or re-use by any method, in whole or part, without the express written consent of Marengo Morton Architects, Incorporated is prohibited. There shall be no changes, substitutions, modifications or deviations from these drawings or accompanying specifications without the consent of Marengo Morton Architects, Incorporated. Visual, physical, or electronic contact or use of these drawings and attached specifications shall constitute the acceptance of all these restrictions.

OCEAN PARK VILLAS
 5113 SARATOGA AVENUE
 SAN DIEGO, CA 92107

05-13-11 PRELIMINARY REVIEW
 05-27-11 COASTAL SUBMITTAL

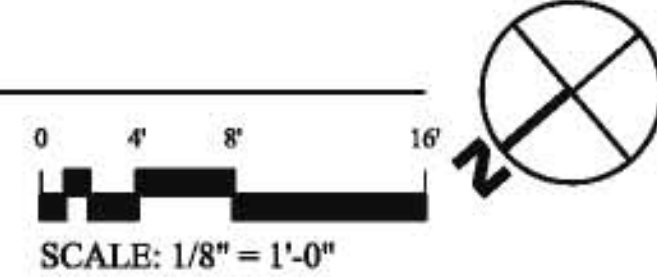


PHASE	COASTAL PHASE
PROJECT NO.	2010-25
REVIEWED BY	CAM
DRAWN BY	JV, JK
DATE	09-29-2011

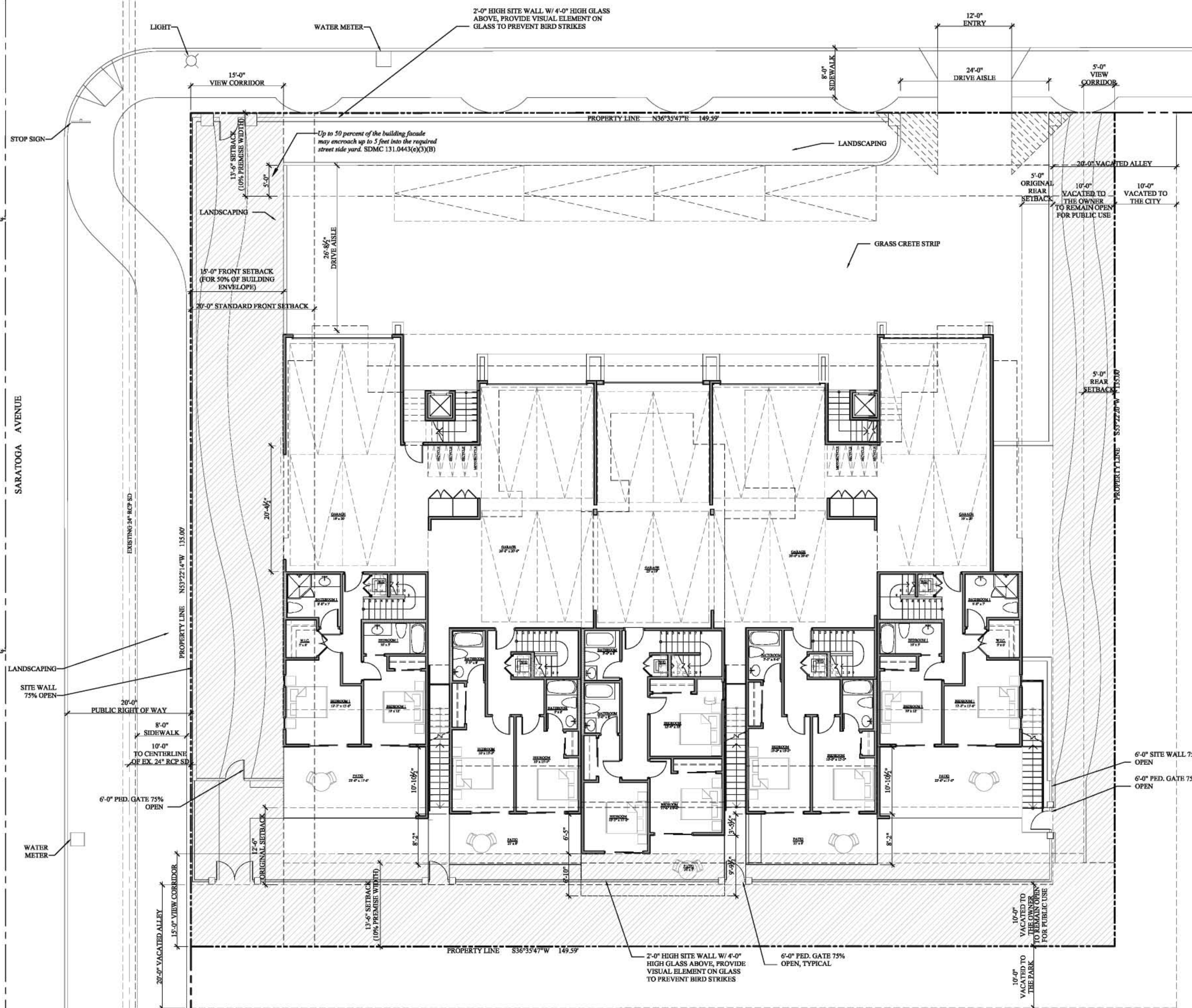
Marengo Morton Architects, Inc. is providing, by agreement with certain parties, materials stored electronically. The parties accepting that files, plans, specifications, reports, documents or other information recorded on or transmitted in electronic media (including but not necessarily limited to "CAD" information) are subject to undetectable alteration, either intentional or unintentional, due to, among other causes, transmission, compression, media degradation, software error, or human alteration. Accordingly, all such documents are provided to the parties for informational purposes only and not as an original printed copy as a record document. Any reliance thereon is deemed to be unreasonable and unenforceable. The signed and stamped hard copies with the wet signature of the Architect of Record are the Architect's Instruments of Service and are the only true and correct documents of record.

SHEET TITLE: SITE PLAN PROPOSED PARKING
A-1.1a
 SHEET 3 OF 12

1 PROPOSED SITE PLAN - PARKING



Y:\2010 Projects\2010-25 Ocean Park Villas\CADD Drawings\Architectural\Plan\Sheet A-1.1_Site Plan.dwg, Sep 29, 2011, 5:05pm



SQ. FT. PER LEVEL CALCULATION:

First Floor :
 (2) Units - A - 1,285.1 sq. ft.
 (2) Units - B - 1,332.6 sq. ft.
 (1) Unit - C - 819.3 sq. ft.
 3,437.0 sq. ft. Living Space
 2,823 sq. ft. Garages
 455.1 sq. ft. Stairs/Elevators
 1,064.2 sq. ft. Patios

PARKING CALCULATION:

3BR UNITS: 8
 PARKING RATIO: 2.5
 REQ. PARKING: 20.0 SPACES

2BR UNITS: 2
 PARKING RATIO: 2.25
 REQ. PARKING: 4.5 SPACES

TOTAL REQ. PARKING: 25 SPACES (24.5)

PARKING PROVIDED: 25 SPACES

UNIT A:

A-1:
 LOCATION: 2F/3F
 BED/BATH: 3/3
 SF: 1,539.6

A-2:
 LOCATION: 1F/2F
 BED/BATH: 2/2.5
 SF: 1,134.1

TOTAL S.F.: 2,673.7
 NO. OF UNITS: 1

UNIT A - PRIME:

A-1:
 LOCATION: 2F/3F
 BED/BATH: 3/3
 SF: 1,625.9

A-2:
 LOCATION: 1F/2F
 BED/BATH: 2/2.5
 SF: 1,125.2

TOTAL S.F.: 2,751.1
 NO. OF UNITS: 1

UNIT B:

B-1:
 LOCATION: 2F/3F
 BED/BATH: 3/3
 SF: 1,476.8

B-2:
 LOCATION: 1F/2F
 BED/BATH: 3/3
 SF: 1,320.9

TOTAL S.F.: 2,797.7
 NO. OF UNITS: 2

UNIT C:

C-1:
 LOCATION: 2F/3F
 BED/BATH: 3/3
 SF: 1,617.9

C-2:
 LOCATION: 1F/2F
 BED/BATH: 3/2.5
 SF: 1,467.6

TOTAL S.F.: 3,085.5
 NO. OF UNITS: 1

PROJECT TOTALS:

UNITS: 10
 BEDROOMS: 28
 S.F.: 14,105.7



Marengo Morton Architects
 7724 Girard Ave.
 Second Floor
 La Jolla, CA 92037
 Tel. (858) 459-3769
 Fax. (858) 459-3768
 Michael Morton AIA
 Claude Anthony Marengo DESA



All design, ideas and arrangements as indicated on these drawings are the legal property of Marengo Morton Architects, Incorporated and the specific project for which they were prepared as indicated on the project title block. Reproduction, publication or re-use by any method, in whole or in part, without the express written consent of Marengo Morton Architects, Incorporated is prohibited. There shall be no changes, substitutions, modifications or deviations from these drawings or accompanying specifications without the consent of Marengo Morton Architects, Incorporated. Visual, physical, or electronic contact or use of these drawings and attached specifications shall constitute the acceptance of all these restrictions.

OCEAN PARK VILLAS
 5113 SARATOGA AVENUE
 SAN DIEGO, CA 92107

05-13-11 PRELIMINARY REVIEW
 05-27-11 COASTAL SUBMITTAL



PHASE COASTAL PHASE

PROJECT NO. 2010-25

REVIEWED BY CAM

DRAWN BY JV, JK

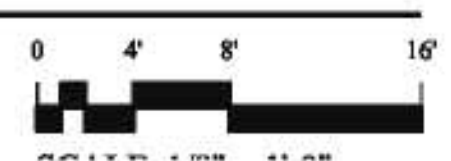
DATE 09-29-2011

Marengo Morton Architects, Inc. is providing, by agreement with certain parties, preliminary design information. The parties responsible for design, plans, specifications, reports, documents or other information recorded on or transmitted in electronic media (including text and graphics) limited to "CAD" documents) are subject to unpredictable alterations, other intentional or unintentional, due to, among other causes, transmission, conversion, media degradation, software error, or human error. Accordingly, all such documents are provided to the parties for informational purposes only and not as an end product or as a record document. Any reliance placed in the project on any such documents is at the user's risk and is not intended to be a part of the project. The signed and stamped seal of the architect is not a part of the project and is not intended to be a part of the project. The architect is not responsible for the accuracy of the information provided on this sheet and the user shall verify the accuracy of the information provided on this sheet.

SHEET TITLE: PROPOSED FIRST FLOOR PLAN

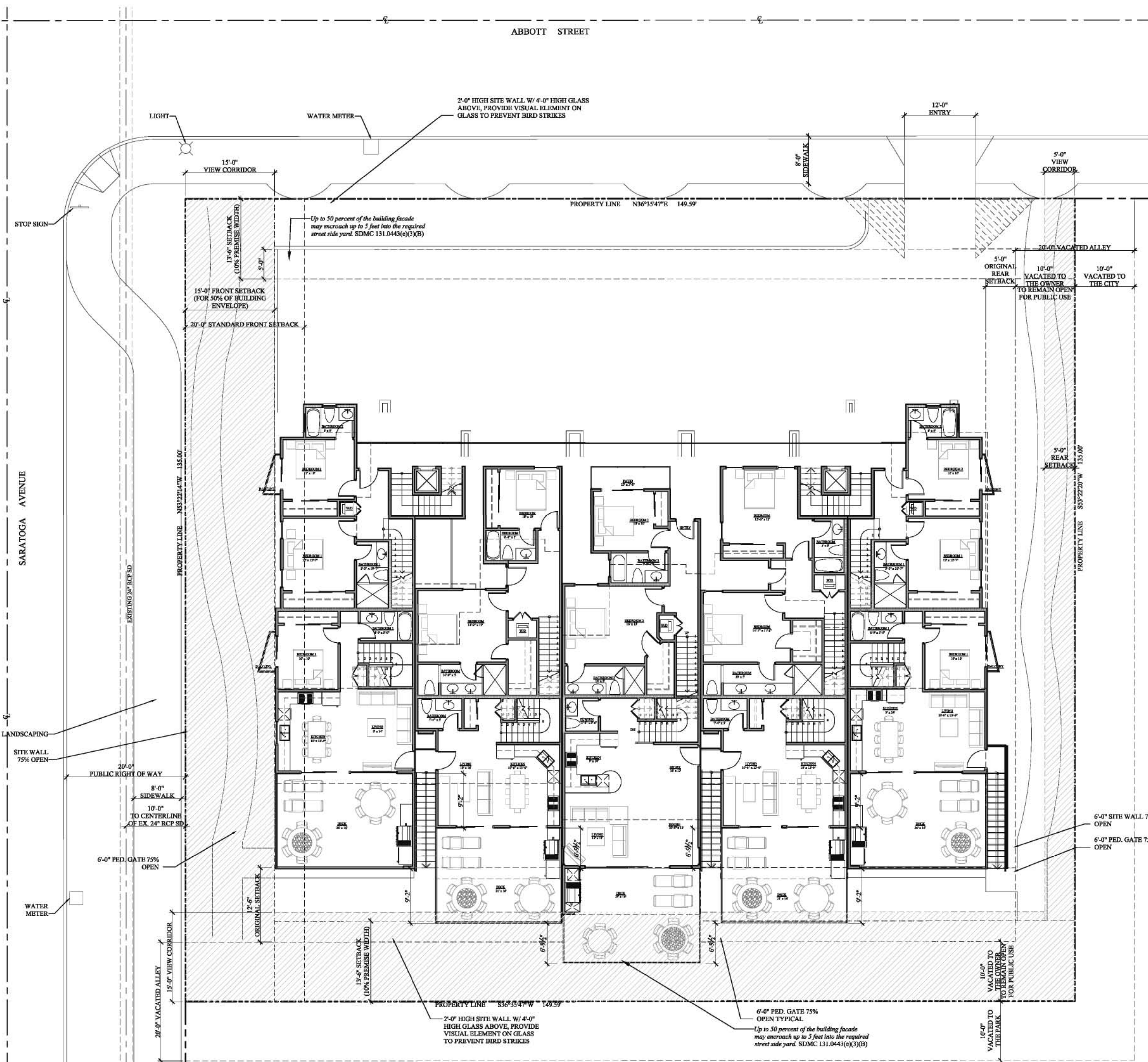
A-1.4
 SHEET 5 OF 12

1 PROPOSED FIRST FLOOR PLAN
 SCALE: 1/8" = 1'-0"



F:\2010\Projects\2010-25 Ocean Park Villas\CADD\Drawings\Architectural\Concept\Phase1\Sheet\A-1.4_1F_CIP.dwg Sep 29, 2011 3:06pm

ABBOTT STREET



SQ. FT. PER LEVEL CALCULATION:
 Second Floor :
 (2) Units - A - 2,462.2 sq. ft.
 (2) Units - B - 2,548.0 sq. ft.
 (1) Unit - C - 1,367.9 sq. ft.
 6,378.1 sq. ft. Living Space
 1,806.6 sq. ft. Decks
 1,055.4 sq. ft. Walkways/Stairs/Balconies



Marengo Morton Architects
 7724 Girard Ave.
 Second Floor
 La Jolla, CA 92037
 Tel. (858) 459-3769
 Fax. (858) 459-3768
 Michael Morton AIA
 Claude Anthony Marengo Desa



All design, ideas and arrangements as indicated on these drawings are the legal property of Marengo Morton Architects, Incorporated and the specific project for which they were prepared as indicated on the project title block. Reproduction, publication or re-use by any method, in whole or part, without the express written consent of Marengo Morton Architects, Incorporated is prohibited. There shall be no changes, substitutions, modifications or deviations from these drawings or accompanying specifications without the consent of Marengo Morton Architects, Incorporated. Visual, physical, or electronic contact or use of these drawings and attached specifications shall constitute the acceptance of all these restrictions.

OCEAN PARK VILLAS
 5113 SARATOGA AVENUE
 SAN DIEGO, CA 92107

05-13-11 PRELIMINARY REVIEW
 05-27-11 COASTAL SUBMITTAL



PHASE COASTAL PHASE

PROJECT NO. 2010-25

REVIEWED BY CAM

DRAWN BY JV, JK

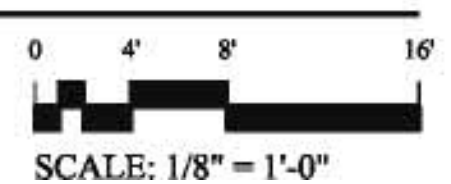
DATE 09-29-2011

Marengo Morton Architects, Inc. is providing, by agreement with certain parties, restricted access to these drawings. The parties receiving this plan, specification, program, document, or other information recorded on or transmitted in electronic media (including but not necessarily limited to "CD" electronic) are subject to unalterable alteration, either intentional or unintentional, due to, among other causes, transmission, compression, media degradation, software error, or human alteration. Accordingly, all such documents are provided to the parties for informational purposes only and not as an end product or as a record document. Any reliance thereon is deemed to be unreasonable and unenforceable. The signed and stamped hard copies with the wet signature of the Architect of Record are the Architect's Instruments of Service and are the only true copies of these documents.

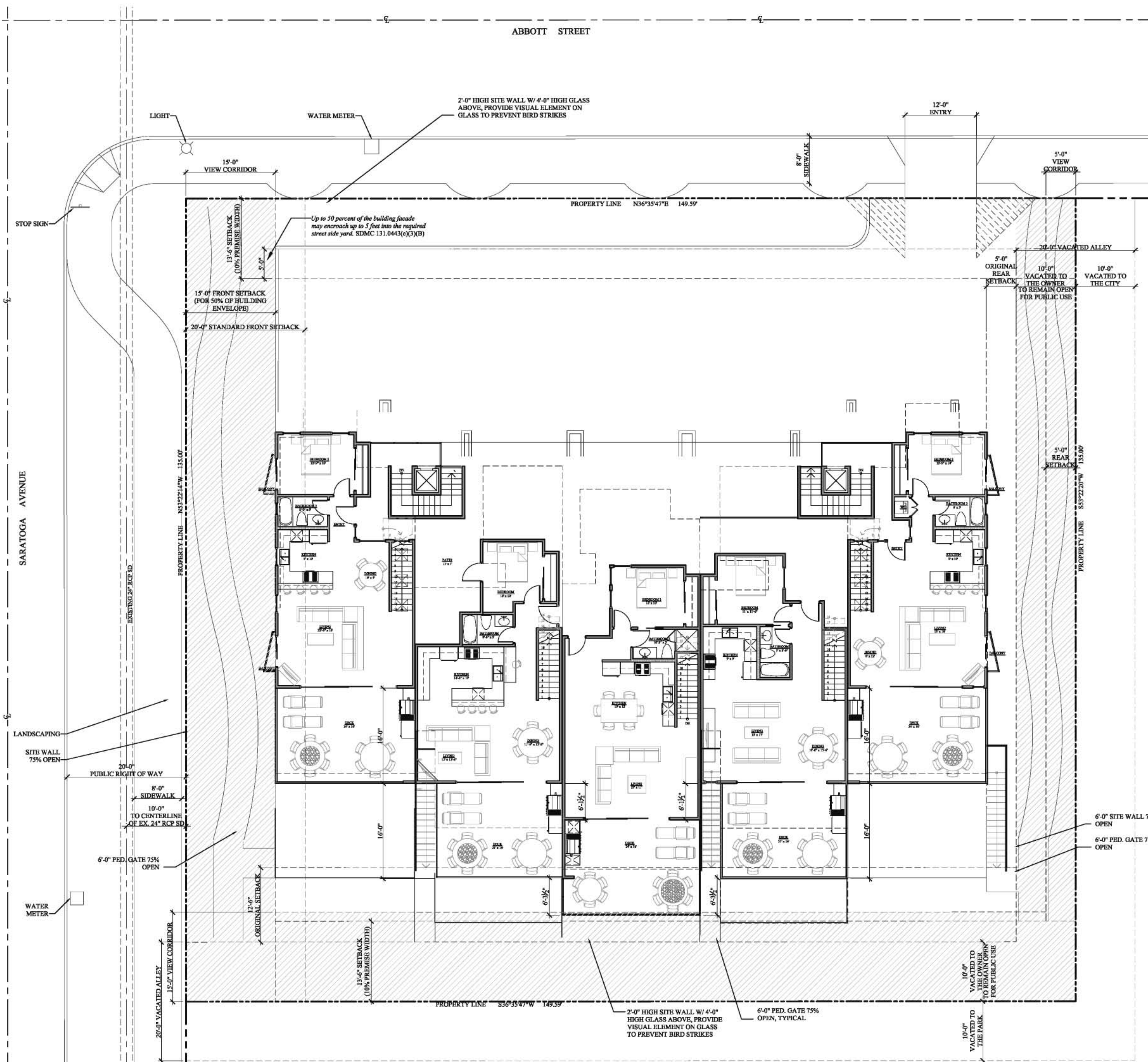
SHEET TITLE PROPOSED SECOND FLOOR PLAN

A-1.5
 SHEET 6 OF 12

1 PROPOSED SECOND FLOOR PLAN
 SCALE: 1/8" = 1'-0"



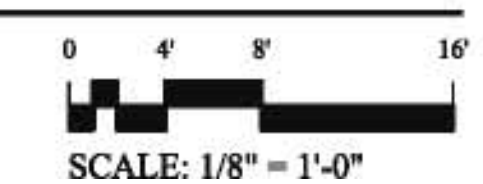
Y:\2010 Projects\2010-25 Ocean Park Villas\CLD\Drawings\Architectural\Coastal Phase\Sheet A-1.5.rvt.dwg, Sep 29, 2011, 3:07pm



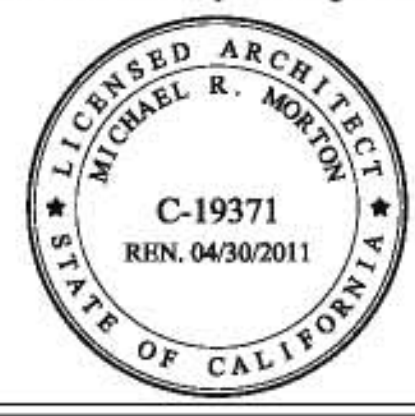
SQ. FT. PER LEVEL CALCULATION:

Third Floor :
 (2) Units - A - 1,677.5 sq. ft.
 (2) Units - B - 1,714.8 sq. ft.
 (1) Unit - C - 898.3 sq. ft.
 4,290.6 sq. ft. Living Space
 1,807.3 sq. ft. Decks
 1,138.1 sq. ft. Walkways/stairs/Balconies

1 PROPOSED THIRD FLOOR PLAN
 SCALE: 1/8" = 1'-0"



Marengo Morton Architects
 7724 Girard Ave.
 Second Floor
 La Jolla, CA 92037
 Tel. (858) 459-3769
 Fax. (858) 459-3768
 Michael Morton AIA
 Claude Anthony Marengo Desa



All design, ideas and arrangements as indicated on these drawings are the legal property of Marengo Morton Architects, Incorporated and the specific project for which they were prepared as indicated on the project title block. Reproduction, publication or re-use by any method, in whole or part, without the express written consent of Marengo Morton Architects, Incorporated is prohibited. There shall be no changes, substitutions, modifications or deviations from these drawings or accompanying specifications without the consent of Marengo Morton Architects, Incorporated. Visual, physical, or electronic contact or use of these drawings and attached specifications shall constitute the acceptance of all these restrictions.

OCEAN PARK VILLAS
 5113 SARATOGA AVENUE
 SAN DIEGO, CA 92107

05-13-11 PRELIMINARY REVIEW
 05-27-11 COASTAL SUBMITTAL



PHASE COASTAL PHASE

PROJECT NO. 2010-25

REVIEWED BY CAM

DRAWN BY JV, JK

DATE 09-29-2011

Marengo Morton Architects, Inc. is providing, by agreement with certain parties, graphical stored electronically. The parties recognize that their plans, specifications, reports, documents or other information recorded on or transmitted in electronic media (including but not necessarily limited to "CAD" documents) are subject to undetectable alteration, other tampering or modification. Accordingly, all such documents are provided as printed hard copies. However, any such alteration, tampering or modification shall be the responsibility of the user and not the Architect. The signed and stamped hard copies with the wet signatures of the Architect of Record are the Architect's Instruments of Service and are the only true contract documents of record.

SHORT TITLE PROPOSED THIRD FLOOR PLAN

A-1.6
 SHEET 7 OF 12



Marengo Morton Architects

7724 Girard Ave.
Second Floor
La Jolla, CA 92037
Tel. (858) 459-3769
Fax. (858) 459-3768
Michael Morton AIA
Claude Anthony Marengo DESA



All design, ideas and arrangements as indicated on these drawings are the legal property of Marengo Morton Architects, Incorporated and the specific project for which they were prepared as indicated on the project title block. Reproduction, publication or re-use by any method, in whole or part, without the express written consent of Marengo Morton Architects, Incorporated is prohibited. There shall be no changes, substitutions, modifications or deviations from these drawings or accompanying specifications without the consent of Marengo Morton Architects, Incorporated. Visual, physical, or electronic contact or use of these drawings and attached specifications shall constitute the acceptance of all these restrictions.

OCEAN PARK VILLAS
5113 SARATOGA AVENUE
SAN DIEGO, CA 92107

05-13-11 PRELIMINARY REVIEW
05-27-11 COASTAL SUBMITTAL



PHASE COASTAL PHASE

PROJECT NO. 2010-25

REVIEWED BY CAM

DRAWN BY JV, JK

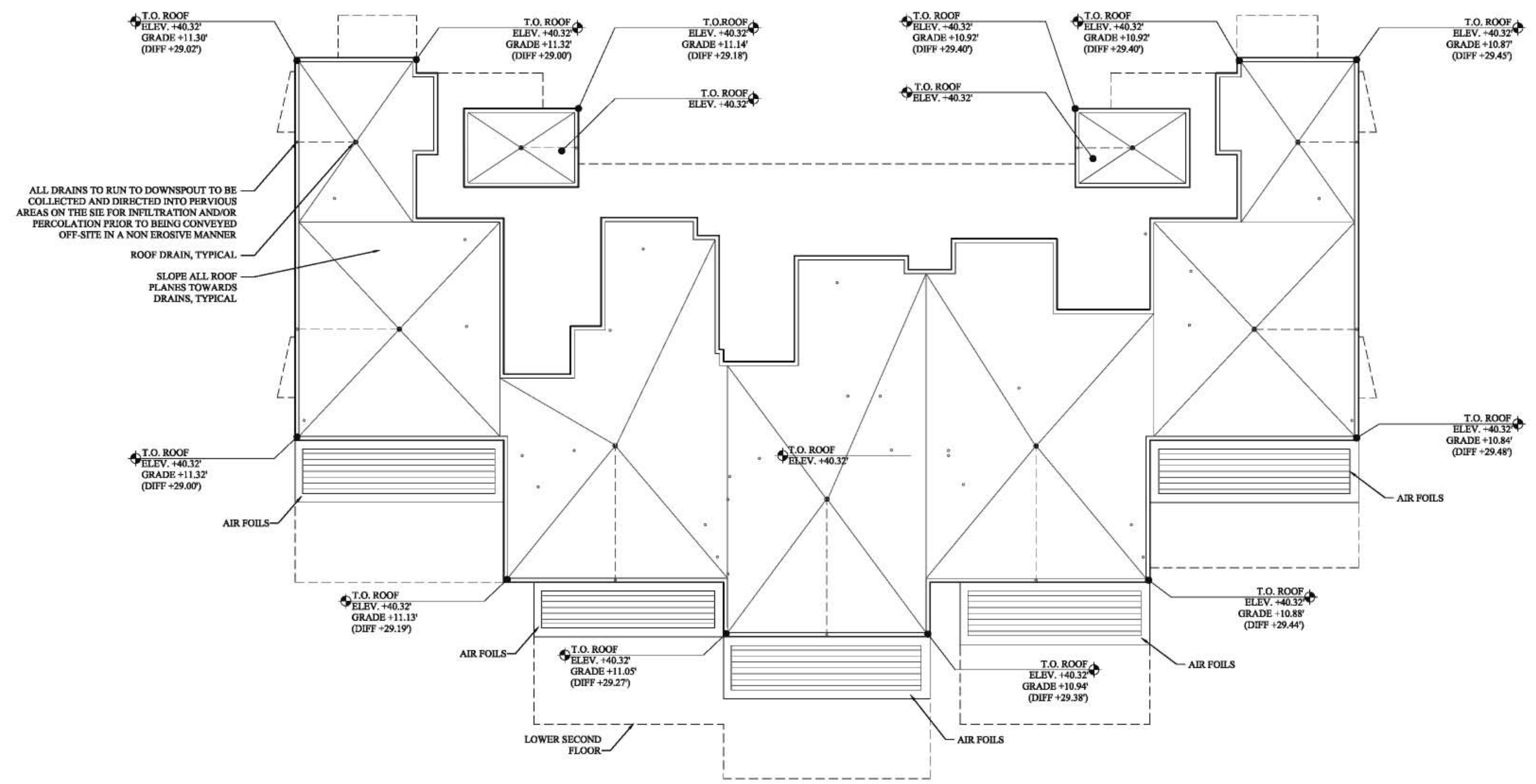
DATE 09-29-2011

Marengo Morton Architects, Inc. is providing, by agreement with certain parties, certain stored electronically. The parties recognize that data, plans, specifications, reports, documents or other information recorded on or transmitted in electronic media (including but not necessarily limited to "CAD" documents) are subject to undetectable alteration, other intentional or unintentional, due to, among other causes, computer virus, corruption, media degradation, software error, or human error. Accordingly, if such documents are provided to the parties for informational purposes only and not as an end product for use as a record document, any reliance thereon is deemed to be unreasonable and unenforceable. The signed and stamped hard copies with the wet signatures of the Architect of Record are the Architect's Instruments of Service and are the only true contract documents of record.

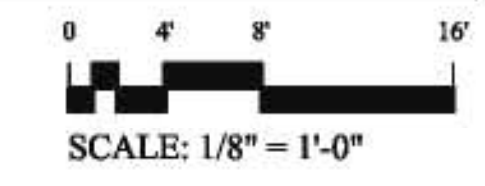
SHEET TITLE PROPOSED ROOF PLAN

A-4.1

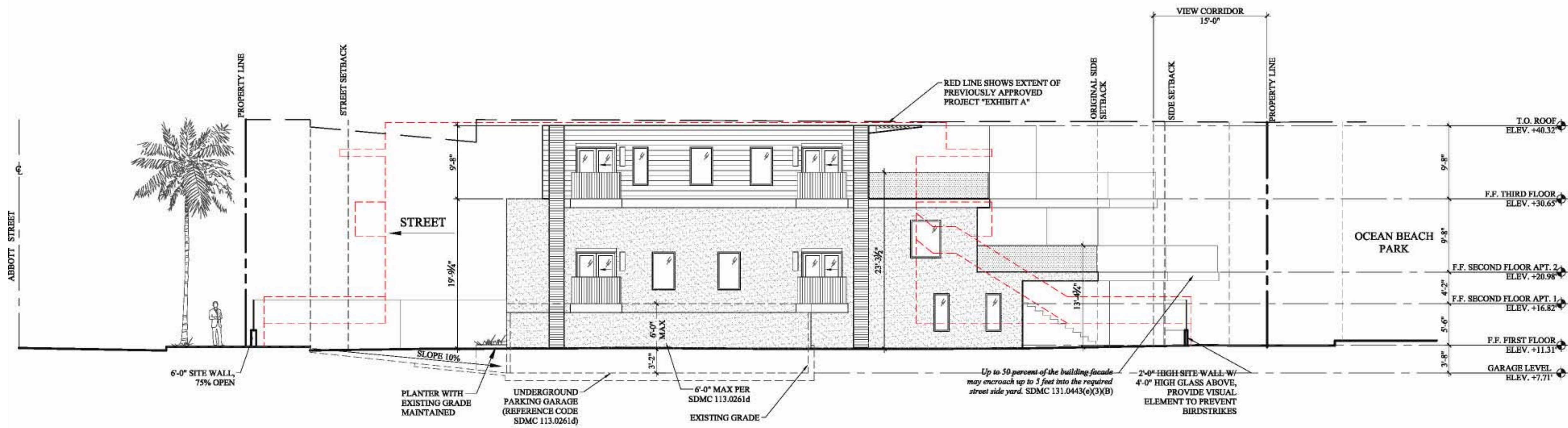
SHEET 8 OF 12



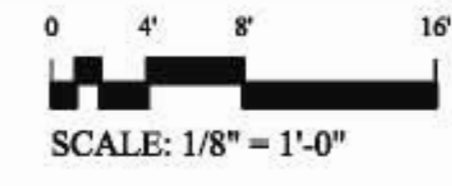
1 PROPOSED ROOF PLAN



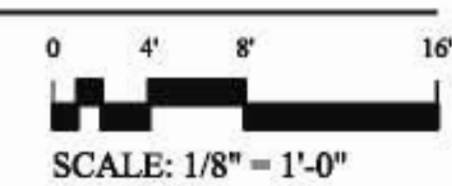
Y:\2010 Projects\0210-25 Ocean Park Villas\CADD Drawings\Architectural\Coastal Phase\Sheet A-4.1-CPV.dwg, Sep 29, 2011, 3:08pm



1 PROPOSED NORTH ELEVATION



2 PROPOSED WEST ELEVATION



Marengo Morton Architects
 7724 Girard Ave.
 Second Floor
 La Jolla, CA 92037
 Tel. (858) 459-3769
 Fax. (858) 459-3768
 Michael Morton AIA
 Claude Anthony Marengo DESA



All design, ideas and arrangements as indicated on these drawings are the legal property of Marengo Morton Architects, Incorporated and the specific project for which they were prepared as indicated on the project title block. Reproduction, publication or re-use by any method, in whole or part, without the express written consent of Marengo Morton Architects, Incorporated is prohibited. There shall be no changes, substitutions, modifications or deviations from these drawings or accompanying specifications without the consent of Marengo Morton Architects, Incorporated. Visual, physical, or electronic contact or use of these drawings and attached specifications shall constitute the acceptance of all these restrictions.

OCEAN PARK VILLAS
 5113 SARATOGA AVENUE
 SAN DIEGO, CA 92107

05-13-11 PRELIMINARY REVIEW
 05-27-11 COASTAL SUBMITTAL



PHASE COASTAL PHASE
 PROJECT NO. 2010-25
 REVIEWED BY CAM
 DRAWN BY JV, JK
 DATE 09-29-2011

Marengo Morton Architects, Inc. is providing, by agreement with certain parties, electronic stored information. The parties responsible for this data, their specifications, or other information recorded on or transmitted in electronic media (including but not limited to "CD" documents) are subject to applicable electronic, other technical or intellectual property laws, including but not limited to copyright, trademark, database, software, or other laws. All such documents are provided as a service for informational purposes only and not as an end product or as a record document. Any reliance thereon is deemed to be unreasonable and unenforceable. The signed and approved hard copies with the signature of Architect of Record are the Architect's instruments of service and are the only true contract documents of record.

SHEET TITLE PROPOSED ELEVATIONS

A-5.1
 SHEET 9 OF 12

Y:\2010 Project\2010-25 Ocean Park Villas\CA\CD\Drawings\Architectural\Coastal Phase\Sheet A-5.1-CPV.dwg Sep 29, 2011 1:50pm



Marengo Morton Architects
 7724 Girard Ave.
 Second Floor
 La Jolla, CA 92037
 Tel. (858) 459-3769
 Fax. (858) 459-3768
 Michael Morton AIA
 Claude Anthony Marengo DESA



All design, ideas and arrangements as indicated on these drawings are the legal property of Marengo Morton Architects, Incorporated and the specific project for which they were prepared as indicated on the project title block. Reproduction, publication or re-use by any method, in whole or part, without the express written consent of Marengo Morton Architects, Incorporated is prohibited. There shall be no changes, substitutions, modifications or deviations from these drawings or accompanying specifications without the consent of Marengo Morton Architects, Incorporated. Visual, physical, or electronic contact or use of these drawings and attached specifications shall constitute the acceptance of all these restrictions.

OCEAN PARK VILLAS
 5113 SARATOGA AVENUE
 SAN DIEGO, CA 92107

05-13-11 PRELIMINARY REVIEW
 05-27-11 COASTAL SUBMITTAL



PHASE COASTAL PHASE

PROJECT NO. 2010-25

REVIEWED BY CAM

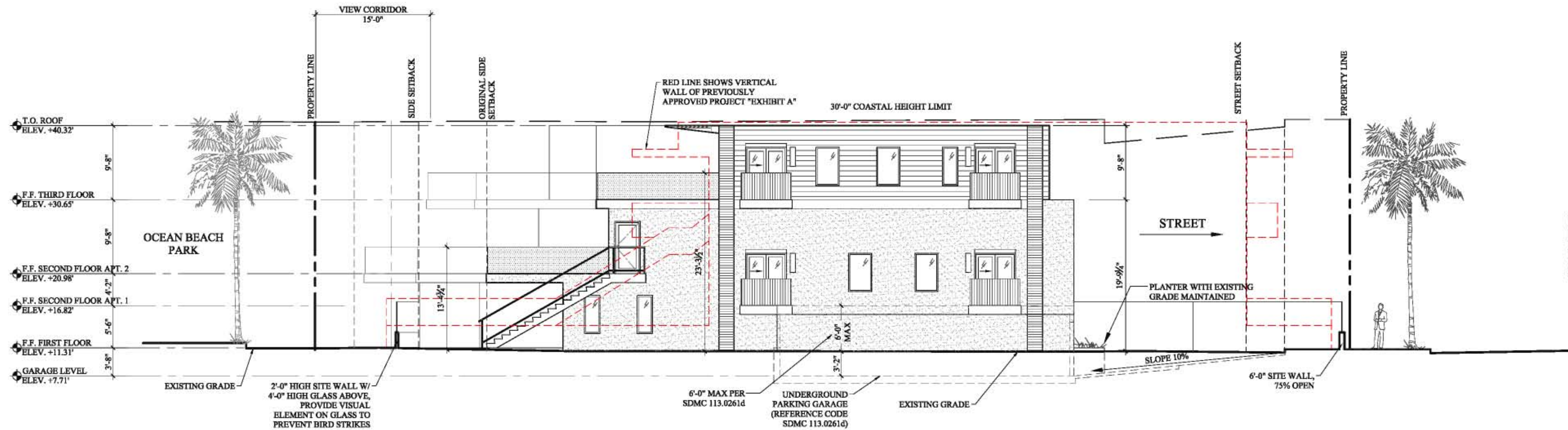
DRAWN BY JV, JK

DATE 09-29-2011

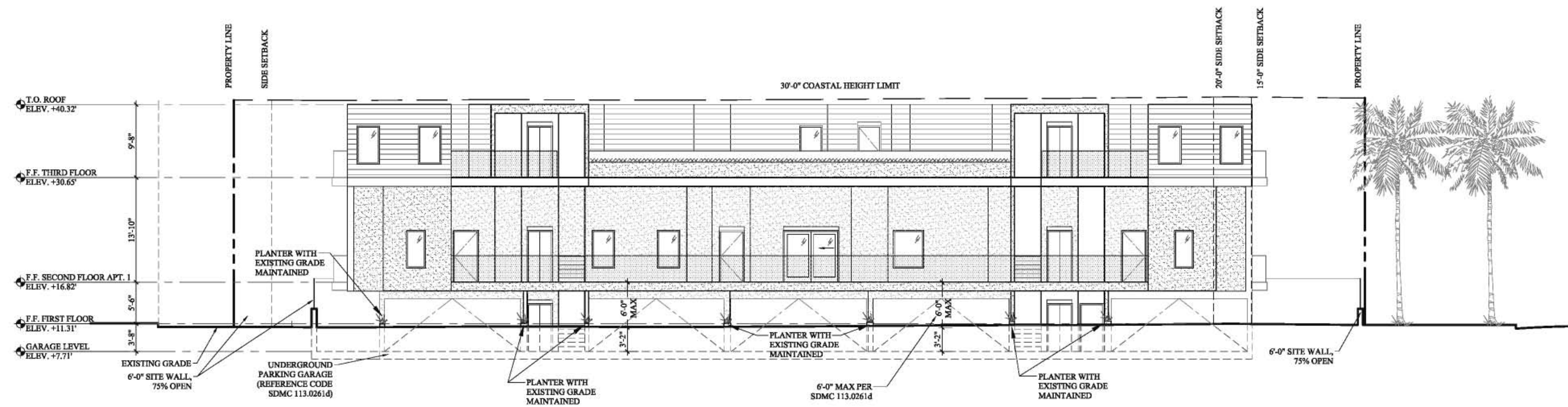
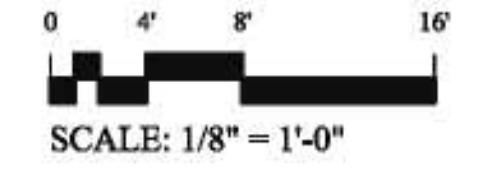
Marengo Morton Architects, Inc. is providing, for agreement with certain parties, general access to electronic files. The parties recognize that such files, including reports, documents or other information recorded on or transmitted as electronic media (including but not limited to "CAD" documents) are subject to unauthorized alteration, either intentional or accidental, that may cause other users, contractors, subcontractors, vendors, suppliers, software users, or business associates. Accordingly, all such documents are provided in the format for informational purposes only and not as an end product nor as a record document. Any reliance on the accuracy of such documents is at the user's sole risk. The user's signature on the drawings is deemed to be irrevocable and unamendable. The signed and stamped hard copies with the wet signatures of the Architect of Record are the Architect's instruments of service and are the only true contract documents of record.

SHEET TITLE PROPOSED ELEVATIONS

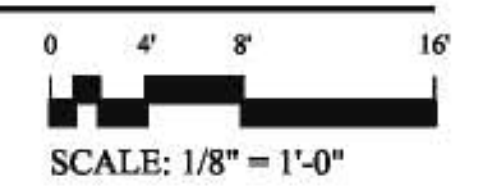
A-5.2
 SHEET 10 OF 12



1 PROPOSED SOUTH ELEVATION



2 PROPOSED EAST ELEVATION



Y:\2010 Projects\2010-25 Ocean Park Villas\CADD Drawings\Architectural\Coastal Phase\Sheets\A-5.1-CPV.dwg, Sep 29 2011, 3:09pm

